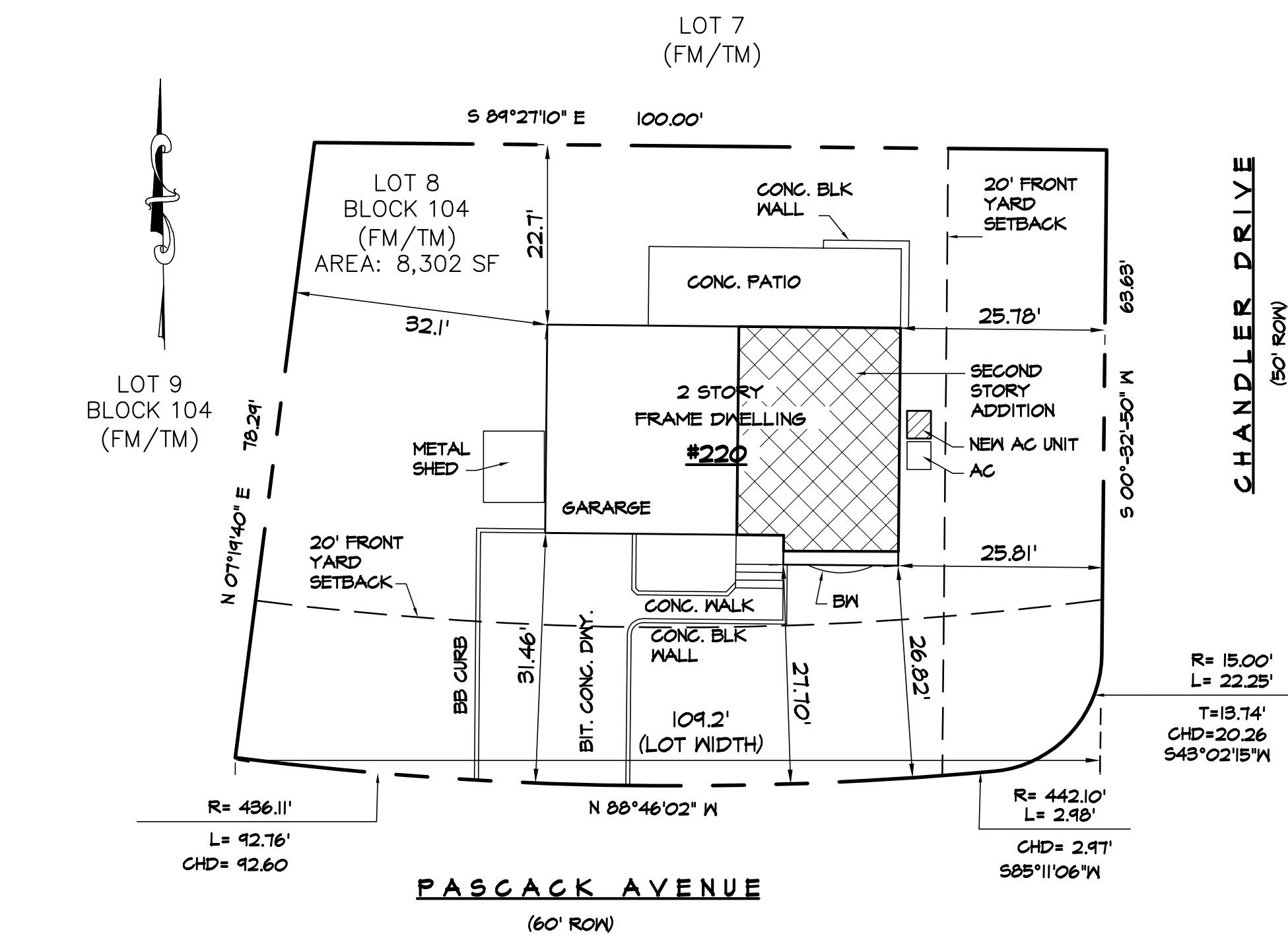


PLOT PLAN/CODE INFO

PROJECT SCOPE:

THIS PROJECT CONSISTS OF A ONE STORY ADDITION BUILT DIRECTLY ABOVE THE EXISTING FIRST FLOOR TO EXPAND HABITABLE SPACE. WORK ALSO INCLUDES CONSTRUCTION OF A NEW FRONT PORTICO. THE EXISTING STRUCTURE IS A TWO STORY DWELLING.



BUILDING CHARACTERISTICS:

USE GROUP: R5
CONSTRUCTION CLASS: TYPE VB
2-STORY WOOD FRAME CONSTRUCTION
AREA OF LARGEST FLOOR: 1,201 SF
MAXIMUM LIVE LOAD: 40 PSF
ROOF: SNOW LOAD 30 PSF
FLOOR: 40 PSF LIVING AREAS
FLOOR: 30 PSF SLEEPING AREAS
ATTIC: 20 PSF STORAGE
DECK: 40 PSF

LATERAL LOADS:
WIND: BASIC WIND SPEED 115 MPH,
EXPOSURE 'B'
SEISMIC: DESIGN CATEGORY 'NA'
GROSS FLOOR AREA:
EXIST FIRST FLOOR: 1,201 SF
NEW FIRST FLOOR: 0 SF
EXIST SECOND FLOOR: 633 SF
NEW SECOND FLOOR: 547 SF
TOTAL GROSS FLOOR AREA: 2,381 SF

NET FLOOR AREA:
EXIST FIRST FLOOR: 1,108 SF
NEW FIRST FLOOR: 0 SF
EXIST SECOND FLOOR: 585 SF
NEW SECOND FLOOR: 449 SF
TOTAL NET FLOOR AREA: 2,146 SF
VOLUME COMPUTATION PER UNIFORM
CONSTRUCTION CODE OF THE STATE
OF NEW JERSEY 5:23-2.2b
NEW WORK (2-Story Addition):
547 SF X 11 FT = 6,017 CF
VOLUME OF TOTAL NEW WORK: 6,071 CF

PLOT PLAN

SCALE: 1" = 20'-0"

NOTE:
INFORMATION FOR THIS PLOT PLAN TAKEN FROM
SURVEY PREPARED BY KENNETH J. JOE, N.J.P.L.S., LIC.
NO. 39528, JOB AND JOB CONSULTING ENGINEERS AND
LAND SURVEYORS PROFESSIONAL ASSOCIATION, 108
HUNSON STREET, HACKENSACK, NJ, 07601. DATED
APRIL 13, 2015.

ZONING CALCULATIONS

ZONING TABLE "R-7.5" SINGLE-FAMILY RESIDENTIAL DISTRICT

ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA (SF)	8,500	8,302	8,302	*PE/NC
MIN. LOT WIDTH (FT)	85	109.20	109.20	NO
MIN. LOT DEPTH (FT)	N/A	N/A	N/A	NO
MIN. FRONT YARD-ONE (FT)	20 (f)	25.78	25.78	NO
MIN. FRONT YARD-TWO (FT)	20 (f)	26.82	26.82	**NO - *PE/NC
MIN. REAR YARD (FT)	35	22.70	22.70	YES - *PE/NC
MIN. SIDE YARD-ONE (FT)	(22)(e)	32.10	32.10	NO
MAX. BUILDING COVERAGE (SF/%)	2,325/28	1,246/15.6 (a)	1,246/15.6 (c)	NO
MAX. BUILDING HEIGHT (FT)	32	23.5	27.2	NO
MAX. IMPERVIOUS SURFACE (SF/%)	1,245/15	1,172/4.1 (b)	1,183/4.2 (d)	NO

*PE/NC = PRE-EXISTING/
NON-CONFORMING

(e) SIDE STREET: 22 FEET. INTERIOR
LOT: EIGHT FEET

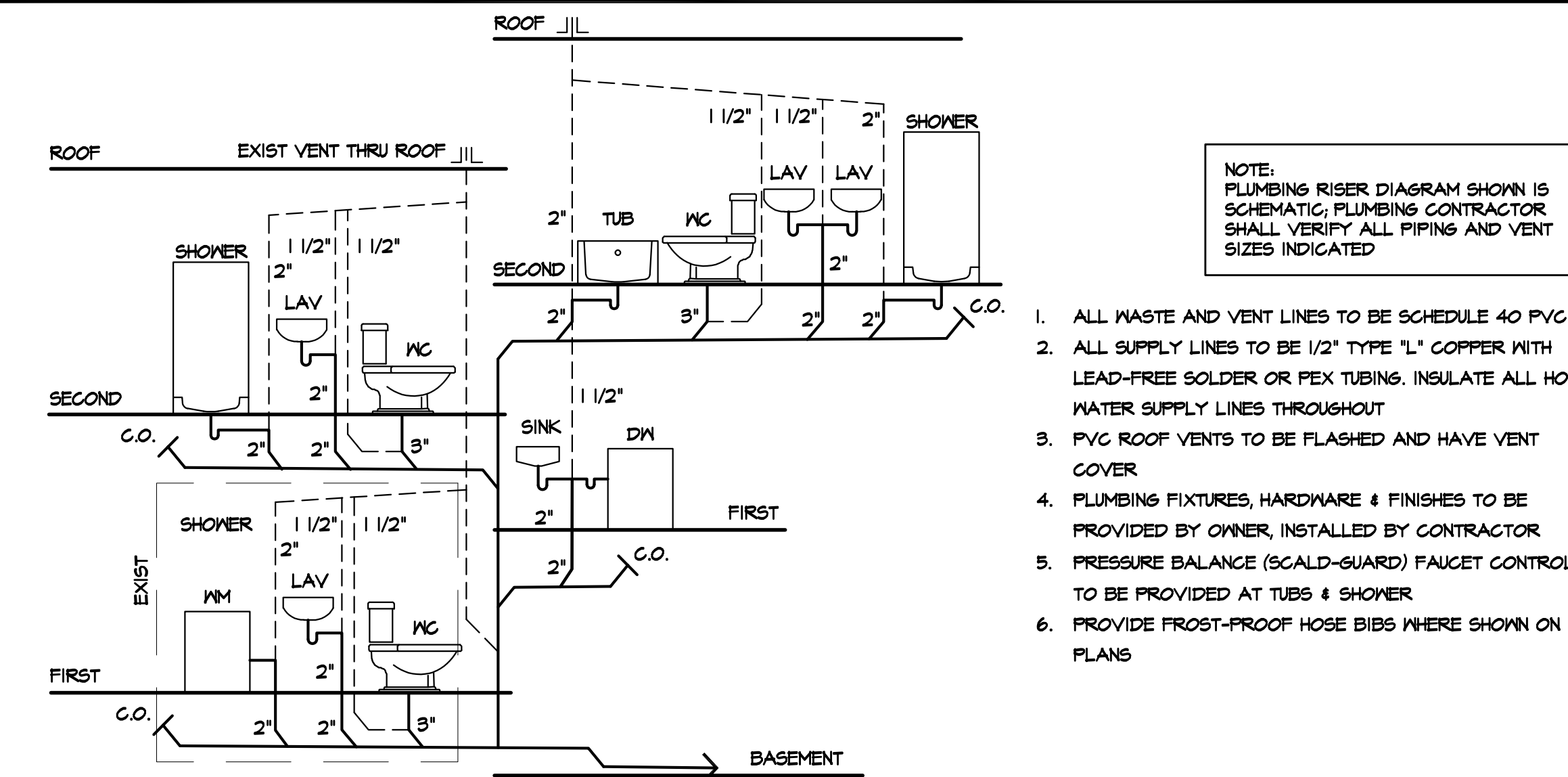
(f) OR THE AVERAGE SETBACK OF
RESIDENCES WITHIN 200 FEET OF
THE LOT IN QUESTION WITHIN THE
INTERSECTING STREET. THE
RESIDENCE SHALL NOT BE LESS
THAN NOTED FOOTAGE NOR LESS
THAN THE AVERAGE OF THE
RESIDENCES WITHIN THE STATED
DISTANCE.

LOT WIDTH = THE DISTANCE
BETWEEN THE TWO SIDE LOT LINES
MEASURED AT THE PROPERTY LINE.
THE MINIMUM LOT WIDTH SHALL BE
MEASURED AT THE FRONT
PROPERTY LINE AND SHALL BE
MAINTAINED OR INCREASED FOR A
MINIMUM OF 40 FEET TOWARD THE
REAR LINE OF THE LOT.

**SEPARATE VARIANCE REQ'D FOR
NEW AC UNIT IN THE FRONT YARD. EXIST
DWELLING CURRENTLY HAS AN AC UNIT
WITHIN THIS FRONT YARD SETBACK.

EXIST BC (a)	EXIST IS (b)	PROPOSED BC (c)	PROPOSED IS (d)
HOUSE = 1,227 METAL SHED = 64	WALKWAY = 86 CONC. PATIO = 334 AC UNIT = 11 METAL SHED = 64 DRIVEWAY = 627 FRONT STEPS = 40	EXIST BC = 1,246	EXIST IS = 1,172 NEW AC UNIT = 11
TOTAL = 1,296 SF	TOTAL = 1,172 SF	TOTAL = 1,246 SF	TOTAL = 1,183 SF

PLUMBING RISER DIAGRAM



- ALL WASTE AND VENT LINES TO BE SCHEDULE 40 PVC
- ALL SUPPLY LINES TO BE 1/2" TYPE "L" COPPER WITH LEAD-FREE SOLDER OR FLEX TUBING. INSULATE ALL HOT WATER SUPPLY LINES THROUGHOUT
- PVC JOINTS TO BE FLANGED AND HAVE VENT COVER
- PLUMBING FIXTURES, HARDWARE & FINISHES TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
- PRESSURE BALANCE (SCALD-GUARD) FAUCET CONTROLS TO BE PROVIDED AT TUBS & SHOWER
- PROVIDE FROST-PROOF HOSE BIBS WHERE SHOWN ON PLANS

GENERAL NOTES

1.0 GENERAL CONDITIONS

- All work shall be installed in accordance with all local codes and ordinances.
- All architectural and structural items for this project have been designed in accordance with the appropriate provisions of the following:
 - Uniform Construction Code (U.C.C.) - State of New Jersey - latest adopted version.
 - International Residential Code (I.R.C.) - New Jersey Edition, latest adopted version.
 - International Building Code (I.B.C.) - New Jersey Edition, latest adopted version.
- Contractor is responsible for and shall verify and coordinate all dimensions, details, and existing conditions before proceeding with the work. Any discrepancies shall be brought to the immediate attention of the Architect.
- Contractor shall fully brace and otherwise protect all work in progress until the structure is completed.
- Any changes in materials or deviations from the plans must be approved by the Architect. Substitutions will require the Contractor to submit related product information as needed for the Architect to approve; this includes but is not limited to cut sheets and ASTM test data. Contractor will be required to compensate the Architect for time spent reviewing any substitutions.
- All matters of job safety and procedure shall be the sole responsibility of the Contractor as mandated in OSHA guidelines. Temporary utilities, toilet facilities and protective fencing shall be provided at the job site.
- Details and sections on the drawings are shown at specific locations and are intended to show general construction throughout. Details noted "Typical" imply that all conditions are to be treated similarly.
- All drawings shall be fully coordinated by the Contractor to verify all dimensions and conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work to be performed. The Contractor shall bring errors and omissions, which may occur, in the Contract Documents to the attention of the Architect prior to proceeding with the work.
- Contractor shall maintain the premises clean and free of trash, debris, and shall protect all adjacent work from damage, soiling, paint, etc. Remove debris from site in a timely manner. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.
- Contractor shall obtain all permits and arrange all necessary inspections and testing. Owner shall pay all required fees.

1.1 SUPPLEMENTARY GENERAL CONDITIONS

- Contractor shall be solely responsible for all quantities of materials and equipment called for to properly complete the work. Prior to the start of work, Contractor shall provide Owner a chronological construction schedule showing all phases of work.
- All work shall conform to the requirements of municipal, local, state and federal laws.
- All materials required to have a fire-rating shall meet or exceed all applicable codes.
- Bid prices shall include everything necessary for permitting and completing the work, except those items noted to be provided by Owner. Owner to provide items in a timely manner not to disrupt progress of the work.
- All items shall be installed in strict accordance with manufacturer's instructions. Where a specific manufacturer is noted in the drawings or specifications, the Contractor shall base the bid on that manufacturer or approved equal.
- All substitutions to be approved by the Architect. Contractor to submit samples and shop drawings when required.
- All claims for additional work to be submitted in writing for Owner's approval and shall include a complete description of the work to be performed. Owner to authorize any additional work before Contractor proceeds with the additional work.
- Contractor shall maintain insurance as required by law. Insurance shall meet the minimum requirements of the Owner. Copies of all certificates shall be furnished to the Owner prior to the start of work. Contractor shall be responsible for all work including the work of sub-contractors, for losses and damage to equipment, tools and materials used in connection with the work.
- Contractor shall unconditionally guarantee all materials and workmanship furnished or installed by the sub-contractors for a period of one year from date of issue of Certificate of Occupancy. Contractor shall replace any defective work within that period without expense to the Owner and pay for all damages caused by repair of this work. Contractor shall replace defective work within (15) days of notification. Contractor shall provide Owner with all written guarantees for periods over one year.

ABBREVIATIONS

∠	AND	FL	FLOOR	MO	MASONRY OPENING	UN	UNLESS OTHERWISE NOTED
∠	ANGLE	FLOR	FLOURESCENT	MTD	MOUNTED		
⊙	AT	FOC	FACE OF CONCRETE	NIC	NOT IN CONTRACT	VB	VAPOR BARRIER
⊙	CENTERLINE	FOS	FACE OF STUD	NO	NUMBER	VERT	VERTICAL
ABV	ABOVE	FOW	FACE OF WALL	NOM	NOMINAL	VIF	VERIFY IN FIELD
AFF	ABOVE FINISHED FLOOR	FT	FOOT OR FEET	NTS	NOT TO SCALE	VTR	VENT THRU ROOF
ADJ	ADJUSTABLE	FT6	FOOTING	OA	OVERALL	W/	WITH
ALUM	ALUMINUM	FUR	FURRING	OC	ON CENTER	WD	WOOD
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	OD	OUTSIDE DIAMETER	W/O	WITHOUT
APPROX	APPROXIMATE	SA	GAUGE	OH	OVERHEAD	WP	WEATHERPROOF
BD	BOARD	GALV	GALVANIZED	OPNS	OPENING	WT	WEIGHT
BLDG	BUILDING	GL	GLASS	OPF	OPPOSITE	WVF	WELDED WIRE FRAME
BM	BEAM	GYP BD	GYPSPUM WALLBOARD	PL	PLATE		
CJ	CEILING JOIST	HB	HOSE BIBB	FLAM	FLAME LAMINATE		
CT	CERAMIC TILE	HD	HEAD	FLYND	FLYWOOD		
CL6	CEILING	HT	HEIGHT	FR	PAIR		
CL	CLOSET	HM	HOLLOW METAL	PT	PRESSURE TREATED		
CO	CLEAN OUT	HR	HANDRAIL	R	RISER		
COL	COLUMN	HRZ	HORIZONTAL	RAD	RADIUS		
CONC	CONCRETE	HP	HIGH POINT	RD	ROOF DRAIN		
CONT	CONTINUOUS	HR	HOUR	REF	REFERENCE		
CT	CELLAR TIE	HVAC	HEATING, VENTILATING, AIR CONDITIONING	REFR	REFRIGERATOR		
CJ	CUBIC	ID	INSIDE DIAMETER	REQ'D	REQUIRED		
DBL	DOUBLE	IN	INCH	REV	REVISION		
DET	DETAIL	INCL	INCLUDED	RM	ROOM		
DIA	DIAMETER	INCL	INCLUDED	RO	ROUGH OPENING		
DIM	DIVISION	INSUL	INSULATION	RR	ROOF RAFTER		
DN	DOWN	INT	INTERIOR	SC	SELF CLOSING		
DR	DOOR	INT	INTERIOR	SIM	SIMILAR		
DWG	DRAWING	INV	INVERT	SAN	SANITARY		
EA	EACH	JST	JOIST	SO	SQUARE		
EL	ELEVATION	JT	JOINT	STD	STANDARD		
EP	ELECTRICAL PANEL	LAM	LAMINATE	STL	STEEL		
EQ	EQUAL	LP	LOW POINT	S/S	STAINLESS STEEL		
EJ	EXPANSION JOINT	LT	LIGHT	T	TREAD		
EX	EXISTING	LT WT	LIGHTWEIGHT	T6	TONGUE AND GROOVE		
EXT	EXTERIOR	MAX	MAXIMUM	T6	TRIMMED OPENING		
FD	FLOOR DRAIN	MECH	MECHANICAL	TOC	TOP OF CONCRETE		
FE	FIRE EXTINGUISHER	MTL	METAL	TOP	TOP OF PAVEMENT		
FIN	FINISH	MIN	MINIMUM	TOS	TOP OF STEEL		
FJ	FLOOR JOIST	MISC	MISCELLANEOUS	TYP	TYPICAL		

SYMBOLS LEGEND

⊙	RECESSED LIGHT FIXTURE
⊙	PENDANT LIGHT FIXTURE
⊙	SURFACE MOUNTED LIGHT FIXTURE
⊙	WALL MOUNTED LIGHT FIXTURE
⊙	SURFACE MOUNTED SPOTLIGHTS
⊙	WALL MOUNTED RECESSED LIGHT FIXTURE
⊙	SINGLE POLE LIGHT SWITCH
⊙	THREE-WAY LIGHT SWITCH
⊙	DUPLEX ELECTRIC RECEPTACLE
⊙	GROUND FAULT INTERRUPT DUPLEX RECEPTACLE
⊙	WEATHERPROOF DUPLEX RECEPTACLE
⊙	DATA/TELEPHONE/CABLE OUTLET
⊙	EXHAUST FAN
⊙	GAS OUTLET
⊙	SMOKE DETECTOR, HEAT DETECTOR
⊙	CARBON MONOXIDE DETECTOR
⊙	EXISTING
⊙	SECTION REFERENCE
⊙	ELEVATION REFERENCE

ENERGY CODE

REScheck-Web
Compliance Certificate

Project Information

Project Title:	Mills Residence	Construction Site:	John Musinski
Energy Code:	2021 IECC	220 Pascack Ave.	218 Mahwah Road
Location:	Emerson, New Jersey	Emerson, New Jersey 07630	JMA Architects LLC
Construction Type:	Single Family		Mahwah, New Jersey 07430
Project Type:	Addition		
Project Sub Type:	None		
Glazing Area:	5%		
Climate Zone:	5a (5196-1001)		
Project No:	1833566		

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor/ F-Factor	Req. U-Factor/ F-Factor	Prop. Req. UA
Ceiling: Flat Ceiling or Sloped Type	504	30.0	13.0	0.024	0.024	12 12
Wall: Wood Frame, 16" C.C.	759	21.0	3.6	0.046	0.045	33 32
Window: 04 Vinyl Frame	13			0.370	0.300	4 4
Window Casement: Vinyl Frame	27			0.290	0.300	7 8
Wall: Wood Frame, 16" C.C.	16	15.0	3.6	0.058	0.045	1 1

Compliance: Passes using UA trade-off
Compliance: 9.0% Better Than Code

Compliance Statement

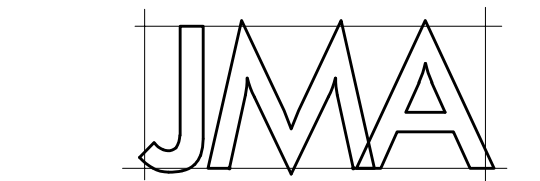
The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspector Checklist.

APPLICABLE CODES

- NEW JERSEY UNIFORM CONSTRUCTION CODE (NJICC, NJAC 5:23)
- NEW JERSEY REHABILITATION SUBCODE (NJAC 5:23-6)
- 2021 INTERNATIONAL BUILDING CODE (NJ EDITION)
- 2021 INTERNATIONAL RESIDENTIAL CODE (NJ EDITION)
- 2020 NATIONAL ELECTRIC CODE
- 2021 NATIONAL STANDARD PLUMBING CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (REScheck Web - 2021 IECC)
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE

DRAWING LIST

- A-0 GENERAL INFORMATION, PLOT PLAN, CODE INFO & NOTES
- A-1 FIRST/BASEMENT FLOOR PLAN, FIRST FLOOR PLAN, SECOND FLOOR PLAN, ROOF PLAN & DETAILS
- A-2 EXTERIOR ELEVATIONS, DETAILS & NOTES



JMA Architects, LLC

RESIDENTIAL · ARCHITECTURE · COMMERCIAL
215 MAHWAH ROAD MAHWAH NEW JERSEY 07430
201 529 3524

JOHN F MUSINSKI AIA NCARB LEED AP
NJ AI12504 NY 020785

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PROPOSED ADDITIONS & ALTERATIONS

Mills Residence

220 Pascack Avenue
Emerson, New Jersey

BOROUGH OF EMERSON
Tax Map Block 104, Lot 8

1	PERMIT/ CONSTRUCTION	4/10/26
NO	ISSUE/REVISION	DATE

GENERAL INFORMATION

PLOT PLAN

CODE INFO & NOTES

DATE
4/10/26

SCALE

AS NOTED

DRAWN

DH

CHECKED

JM

DRAWING NUMBER

A-0

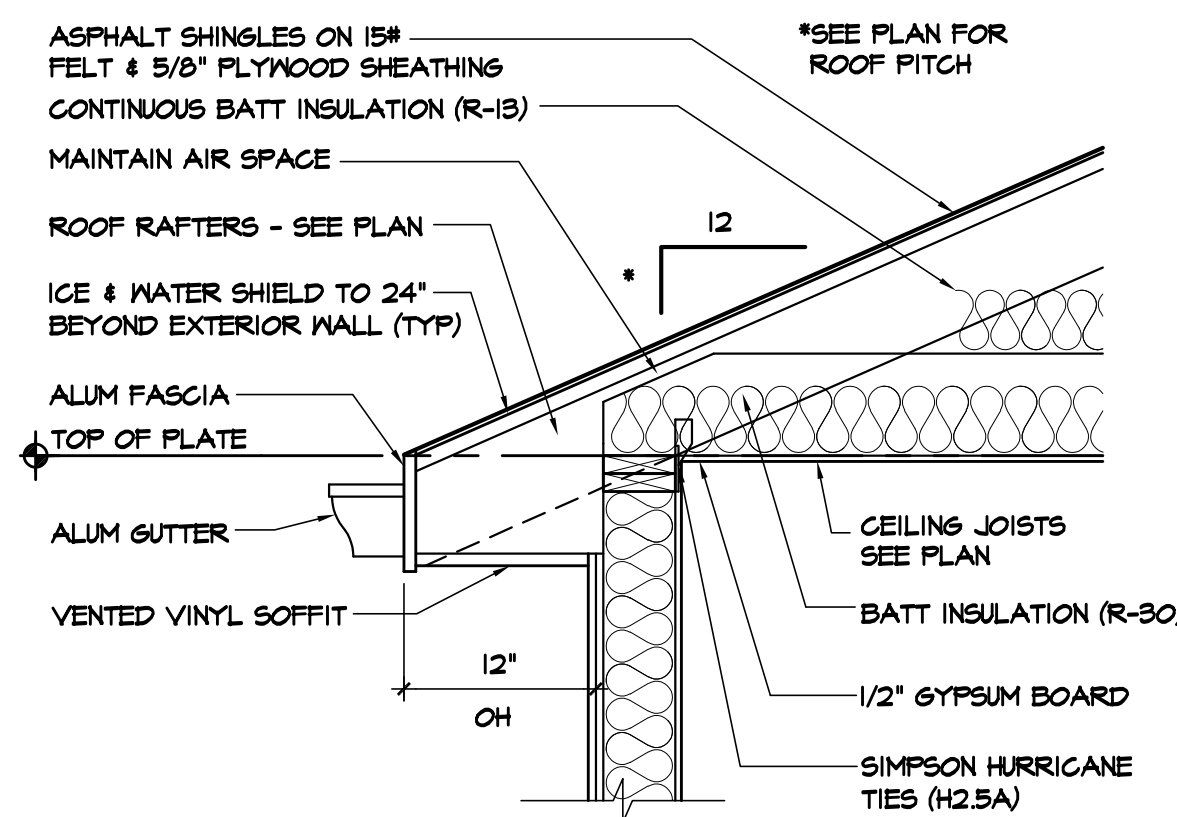
GENERAL NOTES

- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL VERIFY AND COORDINATE ALL DIMENSIONS, DETAILS, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL MATTERS OF JOB SAFETY AND PROCEDURE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AS MANDATED IN OSHA GUIDELINES.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND ARRANGE ALL NECESSARY INSPECTIONS AND TESTS. OWNER SHALL PAY ALL REQUIRED FEES.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS AND EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.
- BOTTOM OF ALL EXTERIOR FOOTINGS MUST EXTEND A MINIMUM OF 3 FEET BELOW FINAL GRADE, OR AS OTHERWISE REQUIRED BY LOCAL CODES.
- CONCRETE IS TO BE READY-MIX STONE AGGREGATE (3/4" MAXIMUM) HAVING MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI (MIN) FOR FOUNDATIONS, 4000 PSI (MIN) FOR SLABS. CMU USED SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,400 PSI. FORM FOOTINGS. PROVIDE CONTROL JOINTS IN SLABS AS REQUIRED U.O.N. (AREA NOT TO EXCEED 400 FEET).
- CONTRACTOR TO PROVIDE AND INSTALL ALL CONCRETE REINFORCING SHOWN; REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 40. PLAIN SHALL CONFORM TO ASTM A108. REINFORCING SHALL BE LAPPED & TIED, SUPPORTED ON CHAIRS, AND PROPERLY COVERED BY GROUT OR CONCRETE AS REQUIRED BY CODE.
- ALL INTERIOR STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH #2, VISUALLY GRADED DIMENSIONAL LUMBER. ALL EXTERIOR STRUCTURAL LUMBER TO BE SOUTHERN YELLOW PINE TREATED LUMBER.
- ALL ROOFING SHALL BE 30 YEAR TIMBERLINE PREMIUM ARCHITECTURAL ASPHALT SHINGLES OR EQUAL, TO MATCH EXISTING, INSTALLED OVER 15# FELTS. FASTEN WITH CORROSIVE RESISTANT NAILS.
- INSTALL FLASHING AND SHEET METAL IN COMPLIANCE WITH THE "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA. ALUMINUM FLASHING SHALL CONFORM TO ASTM B-2-4, AND BE 016" THICK (MINIMUM) GALVANIZED STEEL FLASHING SHALL CONFORM TO ASTM A2-526, 20% COPPER, 26 GAUGE (071141). ASTM A-525, DESIGNATION 640 HOT DIPPED.
- INSTALL ICE & WATER SHIELD AT ROOF EDGES, 2'-0" MIN FROM FACE OF EXTERIOR WALL AND 3'-0" IN EACH DIRECTION AT VALLEYS. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO. 28 GALVANIZED SHEET GAUGE CORROSION RESISTANT METAL AND SHALL EXTEND AT LEAST 11" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING TO HAVE A 4" (MIN) END LAP. EXTEND SHIELD PAST ROOF EDGE AND FASCIA.
- INSTALL MINIMUM 5" ALUMINUM GUTTER & 3x4" LEADERS. INSTALL VENTED SOFFITS & ROOF/ATTIC VENTS AS REQUIRED TO VENTILATE ENTIRE ATTIC AREA.
- FASTENERS SHALL BE AS PER IRC TABLE 602.3(1). WOOD FRAMING CONNECTORS GENERALLY AS MANUFACTURED BY SIMPSON STRONG-TIE. INSTALL ALL FASTENERS IN LOCATIONS AND OF TYPES REQUIRED BY MANUFACTURER.
- ENGINEERED BEAMS SHALL BE AS MANUFACTURED BY ANTHONY FOREST PRODUCTS, AND ON CENTER BLUELINE ENGINEERING PRODUCTS DESIGNATED ON PLANS OR OF EQUAL STRENGTH SUBSTITUTIONS TO BE APPROVED BY ARCHITECT.
- ALL GLASS IN HAZARDOUS LOCATIONS (GLAZING IN OR ADJACENT TO DOORS, GLAZING ADJACENT TO WALKING SURFACES, GLAZING NEAR NET FLOOR SURFACES) SHALL BE SAFETY GLASS (OF TYPE) AS REQUIRED BY CODE.
- NEW CLOTHES DRYER EXHAUST SHALL BE ROUTED TO EXTERIOR AS REQUIRED BY CODE (TOTAL TRAVEL NOT TO EXCEED 35 FT). PROVIDE / INSTALL SMOOTH RIGID 4" MIN. DIA METAL DUCTING W/ DAMPER & CAP. EXHAUST OPENINGS SHALL BE MIN. OF 12.5 SQUARE INCHES. VERIFY THAT LOCATION OF EXHAUST OUTLET IS NOT WITHIN 5 FT OF OTHER OPENINGS (IE. WINDOWS, INTAKES).
- INSTALL (1) SMOKE DETECTOR ON OR NEAR THE CEILING IN EACH OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, IN THE IMMEDIATE VICINITY OF BEDROOMS (OUTSIDE EACH SEPARATE SLEEPING AREA), AND ON EACH LEVEL OF THE STRUCTURE (INCLUDING BASEMENT & ATTIC). IF MULTIPLE DETECTORS ARE INSTALLED, THEY MUST BE "INTERCONNECTED" ("WIRELESS" OR HARD-WIRED). INSTALL ALARMS WITH BATTERY BACKUP. DO NOT INSTALL PHOTOELECTRIC OR IONIZATION-TYPE NEAR COOKING APPLIANCES. DETECTORS SHALL BE UL-LISTED AS REQ'D BY CODE.
- INSTALL (1) CARBON MONOXIDE DETECTOR OUTSIDE OF EACH SLEEPING AREA ("WITHIN 10 FEET OF" AND/OR "IN THE IMMEDIATE VICINITY OF BEDROOMS") AND IN ANY BEDROOM OR BATHROOM WITH A FUEL-BURNING APPLIANCE. DETECTORS SHALL BE UL-LISTED IN CONFORMANCE WITH CODE. IF INSTALLATION OF DETECTORS IS REQUIRED IN AREAS WITH NEW WALL &

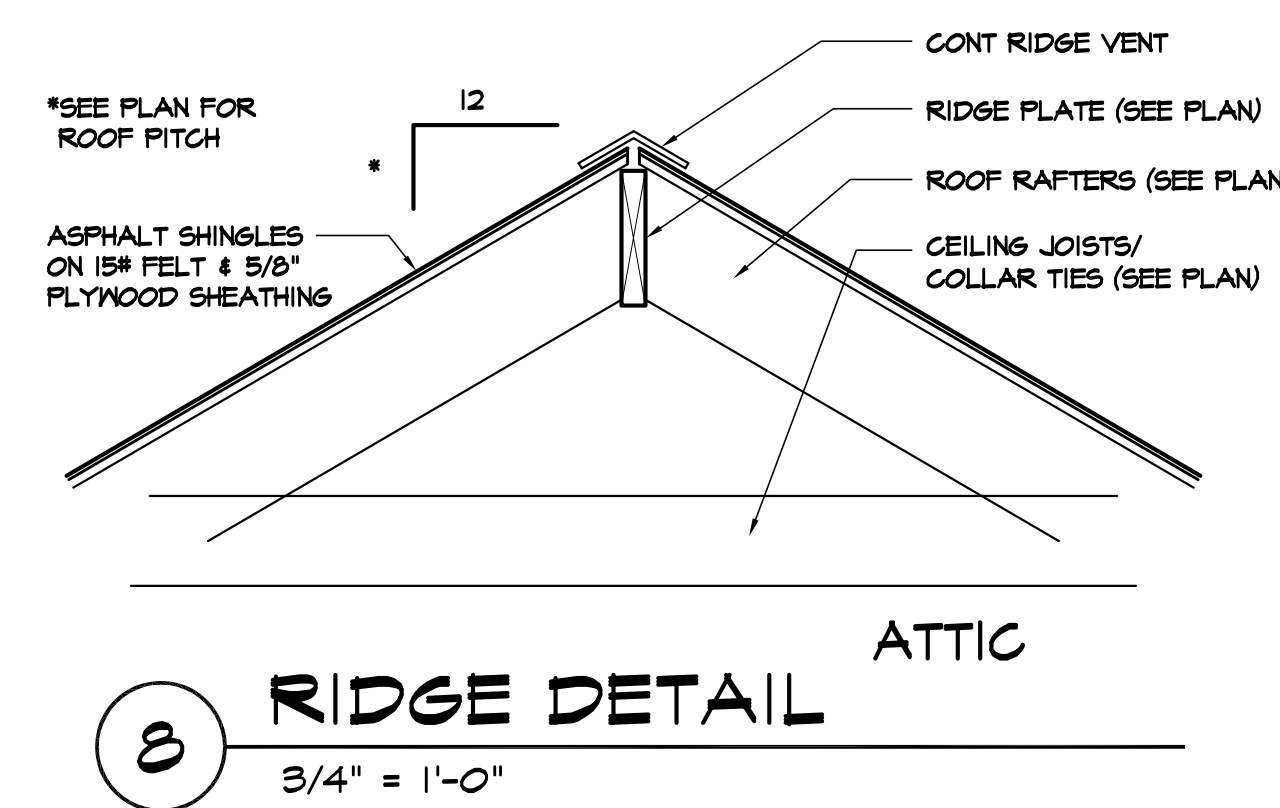
- CL6 FINISHES, NEW DETECTORS SHALL BE INTERCONNECTED.
- PLANS ARE SCHEMATIC AND FOR USE IN COORDINATION ONLY; ARCHITECT NOT RESPONSIBLE FOR FINAL LOCATIONS OR SIZING. CABINETS / BUILT-INS TO BE BY OTHERS; DIMENSIONS SHOWN ARE FOR PLANNING ONLY. VERIFY.
- VERIFICATION OF SITE CONDITIONS (INCLUDING SOIL CLASS, SOIL BEARING CAPACITY & LOCATION OF EXISTING UTILITIES) IS NOT WITHIN THE ARCHITECT'S SCOPE OF WORK. CONTRACTOR TO VERIFY CONDITIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WALL SHEATHING TO BE 1/2" CDX PLYWOOD APA RATED 24/0, C-D STRUCTURAL I, EXPOSURE 1. ROOF SHEATHING TO BE 5/8" APA RATED 24/0, C-D STRUCTURAL I, EXPOSURE 1.
- WHEN REQUIRED BY SIDING MANUFACTURER - INSTALL A DRAINAGE MAT (SUCH AS DRAINWALL RAINSCREEN) OVER THE WATER-RESISTIVE BARRIER (IE. 2 LAYERS 15# BLDG FELT) OVER ALL EXTPS
- ERIOR WALL SHEATHING. INSTALL 30-YEAR SHINGLES (AS SELECTED BY OWNER) OVER ROOF UNDERLAYMENT (30# BUILDING FELT OR SELF-ADHERING ICE & WATER SHIELD, PER SHINGLE MANU).
- INSTALL INSULATION (TO FILL CAVITY) & DRAFTSTOPPINGS IN WALL & CEILING FRAMING EXPOSED DURING CONSTRUCTION. INSTALL ALL INSULATION AS SHOWN ON PLANS OF VALUES LISTED. ANY BREAKS OR JOINTS IN THE BUILDING ENVELOPE/AIR BARRIER (NEW OR OTHERWISE EXPOSED) SHALL BE CAULKED, WEATHERSTRIPPED, OR SEALED TO PREVENT INFILTRATION USING INDUSTRY BEST PRACTICES.
- WINDOWS TO BE ANDERSEN 400 SERIES OR APPROVED EQUAL; DOORS SHALL BE AS LISTED HEREIN. NEW EXTERIOR DOORS SHALL BE INSULATED W/ LOW-E GLASS W/ INTEGRAL WEATHER-STRIPPING. NEW INTERIOR DOORS SHALL BE SOLID-CORE; DESIGN & HARDWARE TO BE SELECTED BY OWNER.
- INSTALL GYPSUM WALLBOARD OF THICKNESS INDICATED AND FASTENED WITH SCREWS AT SPACING REQUIRED BY CODE. TAPE OVER JOINTS, INTERSECTIONS & FASTENERS, USING MINIMUM 2 COATS OF SPACKLE; LEAVE WALLS READY FOR PAINT.
- INSTALL CERAMIC TILE IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN TILE COUNCIL OF AMERICA'S "HANDBOOK OF CERAMIC TILE INSTALLATION". FLOOR TILE SHALL BE INSTALLED ON FULLY CURED CONCRETE FLOOR SLABS USING PORTLAND CEMENT MORTAR. WALL TILE SHALL BE INSTALLED ON 1/2" CEMENTITIOUS BACKER BOARD (DUROCK OR EQUAL) AT SHOWER & WET AREAS. USE MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD FOR ALL OTHER BATHROOM/LAUNDRY WALLS. PROVIDE SILICONE SEALER.
- PROVIDE A SQUARE FOOT ALLOWANCE FOR TILE MATERIALS. TILE & GROUT TO BE AS SELECTED BY OWNER.
- CONTRACTOR TO PROVIDE (ONE) COAT OF PRIMER ON ALL NEW WALL AND CEILING SURFACES AND (ONE) COAT OF FLAT WHITE CEILING PAINT ON ALL NEW / RENOVATED CEILINGS AS PART OF THE BASE BID. ALL PRIMERS AND ADD'L PAINT TO BE BENJAMIN MOORE OR EQUIV.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL PLUMBING. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL STANDARD PLUMBING CODE.
- PLUMBING FIXTURES, FAUCETS & TRIM TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. NEW FIXTURES SHALL BE LOW-FLOW TYPE. WATER SUPPLY PIPING IN UNHEATED SPACES SHALL BE INSULATED; PROVIDE & INSTALL DRAINAGE VALVES AS NEEDED FOR COMPLETE SYSTEM SHUT-DOWN DURING FREEZING TEMPERATURES. PROVIDE & INSTALL SUPPLY, DRAIN, WASTE & VENT PIPING FOR ALL NEW FIXTURES.
- HVAC DESIGN NOT IN ARCHITECT'S SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL ALL HEATING, COOLING AND CONTROLS SHOWN ON PLANS AND/OR REQUIRED BY CODE. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL MECHANICAL CODE.
- HVAC DESIGN SHALL INCLUDE MAKEUP AIR FOR GAS-FIRED & OTHER NON-DIRECT-VENTED COMBUSTION APPLIANCES AS REQUIRED BY CODE.
- BATH EXHAUST SHALL BE MINIMUM 20 CFM CONTINUOUS OR 50 CFM INTERMITTENT. ALL VENT DUCTING SHALL BE DIRECTED TO THE EXTERIOR OF THE BUILDING BY THE SHORTEST, STRAIGHTEST ROUTE POSSIBLE. FINAL LOCATIONS SHALL BE VERIFIED WITH OWNER AND BE AS REQUIRED BY CODE. PROVIDE GAPS, DAMPERS AND SCREENS AS NEEDED.
- ALL MATERIALS & EQUIPMENT SHALL BE UL-LISTED IN CONFORMANCE WITH CODE & LABELED FOR INTENDED USES. ALL RECEPTACLES AT VANITIES & IN BATHROOMS SHALL BE GFCI-TYPE; RECESSED SHOWER FIXTURE SHALL BE SUITABLE FOR USE IN "WET" LOCATION. EXTERIOR MC CABLE MAY BE USED IN EXPOSED LOCATIONS UNDER NEW ADD'N IF IT HAS A "CORROSION-RESISTANT" JACKET & IS WET-RATED; OTHERWISE, CONCEAL ALL NEW WIRING.
- LIGHT FIXTURES SHALL USE "HIGH-EFFICACY" LAMPING (LED OR FLUORESCENT BULBS). SWITCHES TO BE MOUNTED AT 48" AFF; MOUNT RECEPTACLES AS LISTED ON PLAN. LOCATIONS OF SWITCHES & RECEPTACLES ARE DIAGRAMMATIC & SHALL BE CONFIRMED WITH OWNER PRIOR TO INSTALLATION. RECESSED FIXTURES IN INSULATED CEILINGS SHALL BE IC-RATED & SEALED OR GASKETED TO THE INTERIOR FINISHED SURFACE.



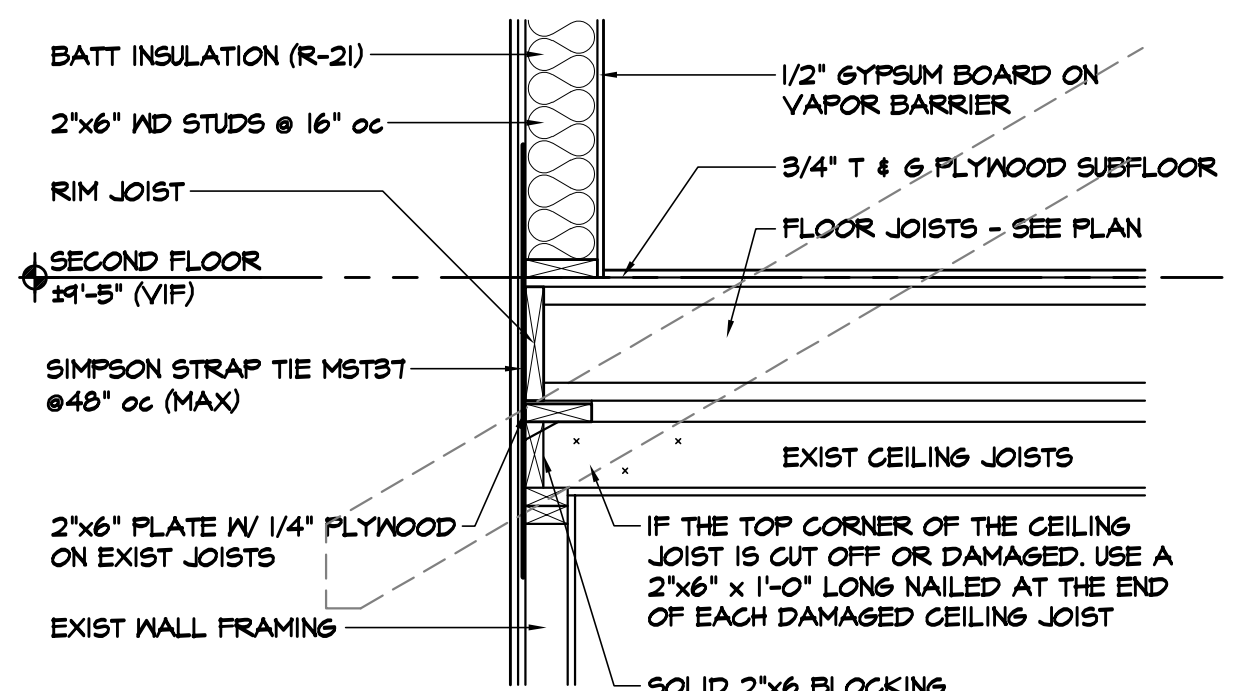
1 SOUTH ELEVATION
1/4" = 1'-0"



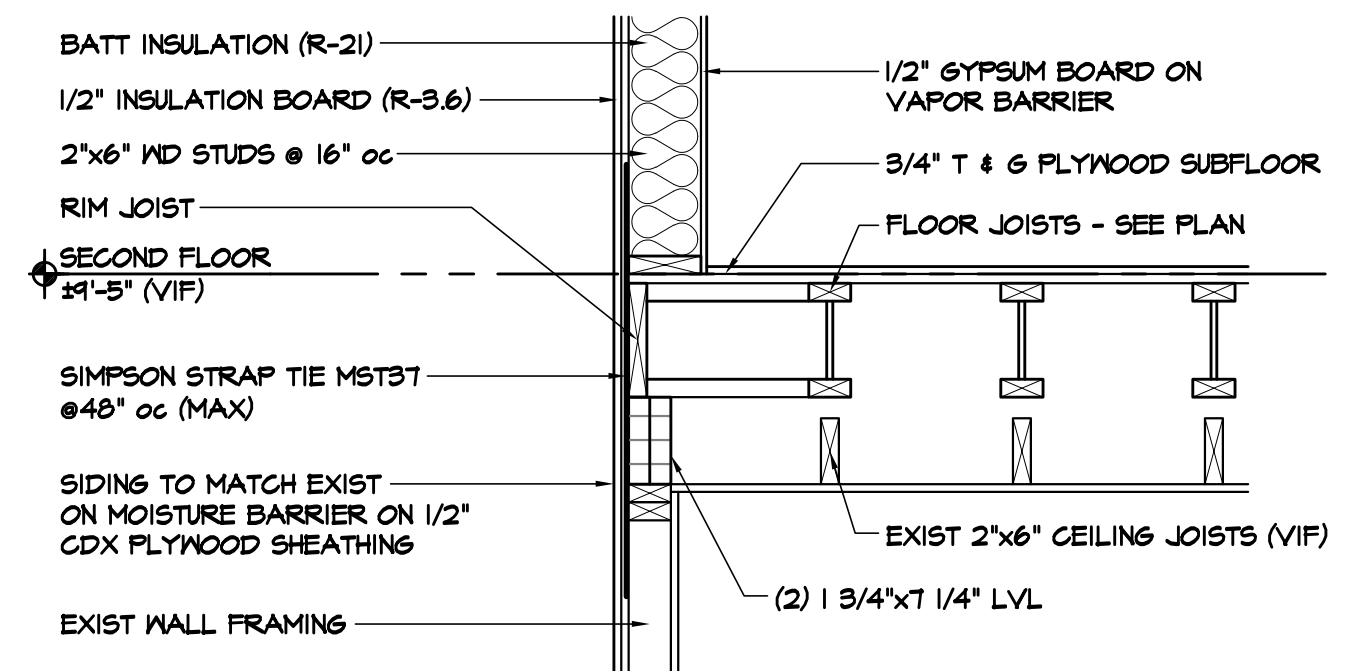
7 ROOF/WALL DETAIL
3/4" = 1'-0"



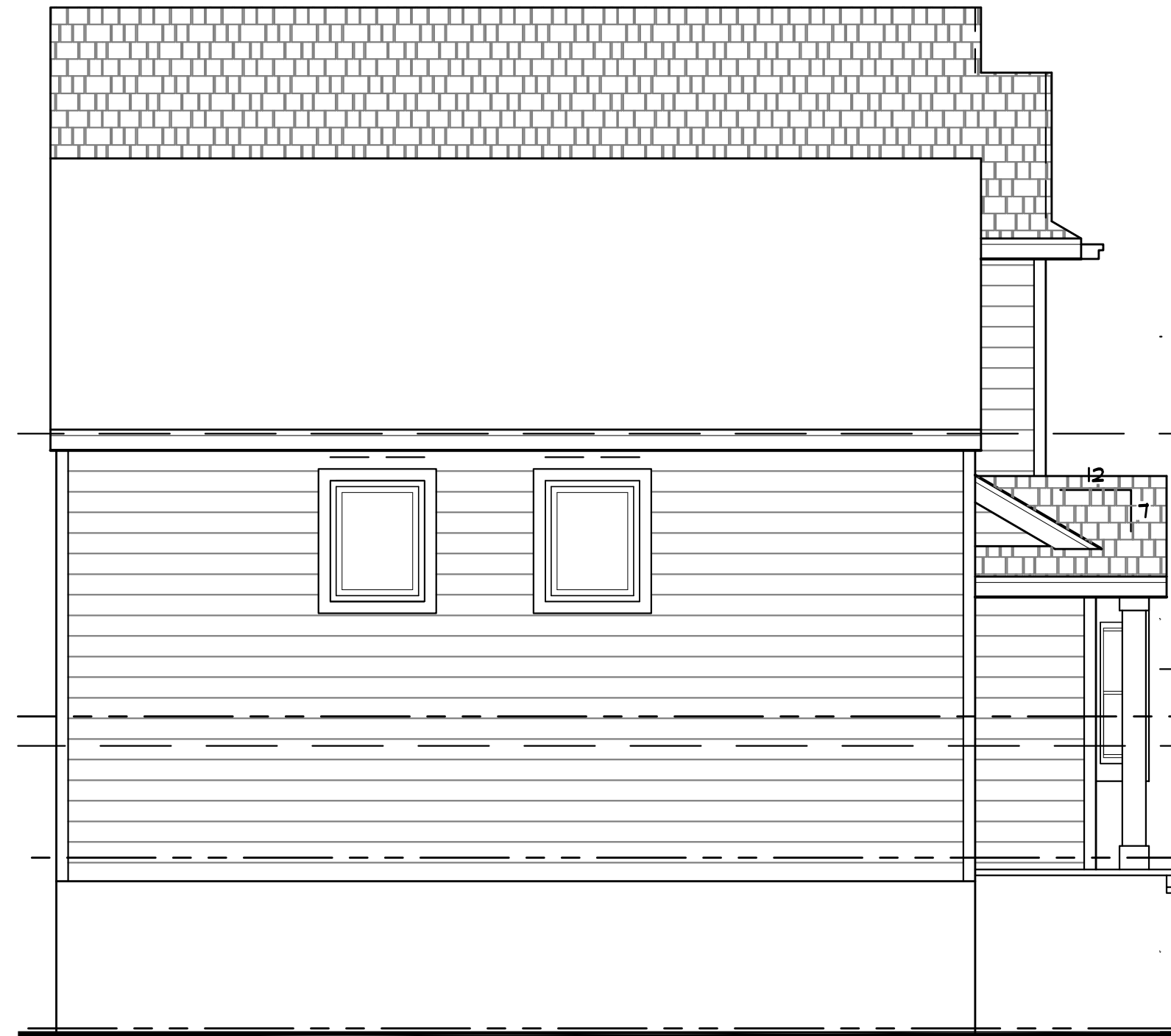
8 RIDGE DETAIL
3/4" = 1'-0"



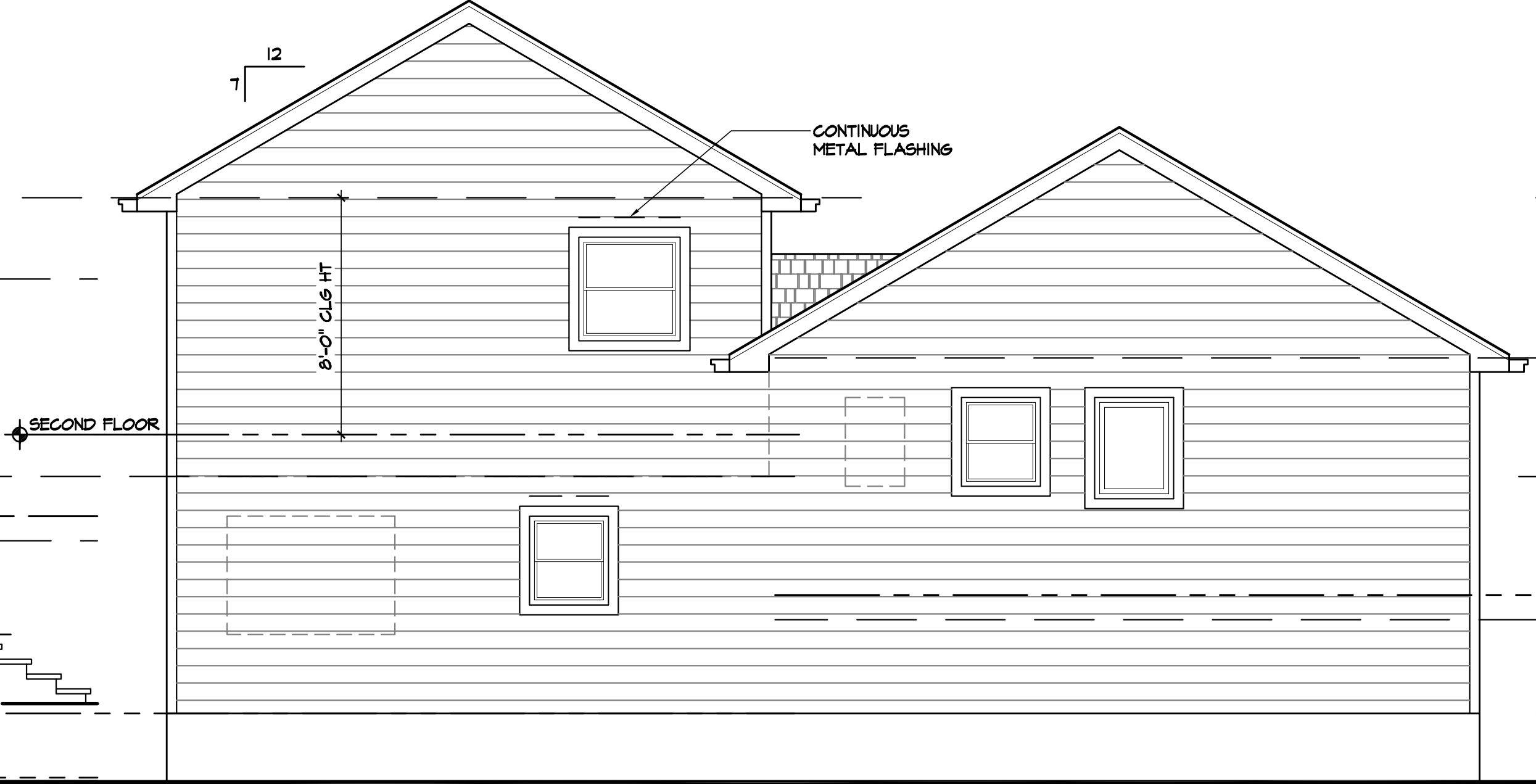
5 WALL/ FLOOR DETAIL
3/4" = 1'-0"



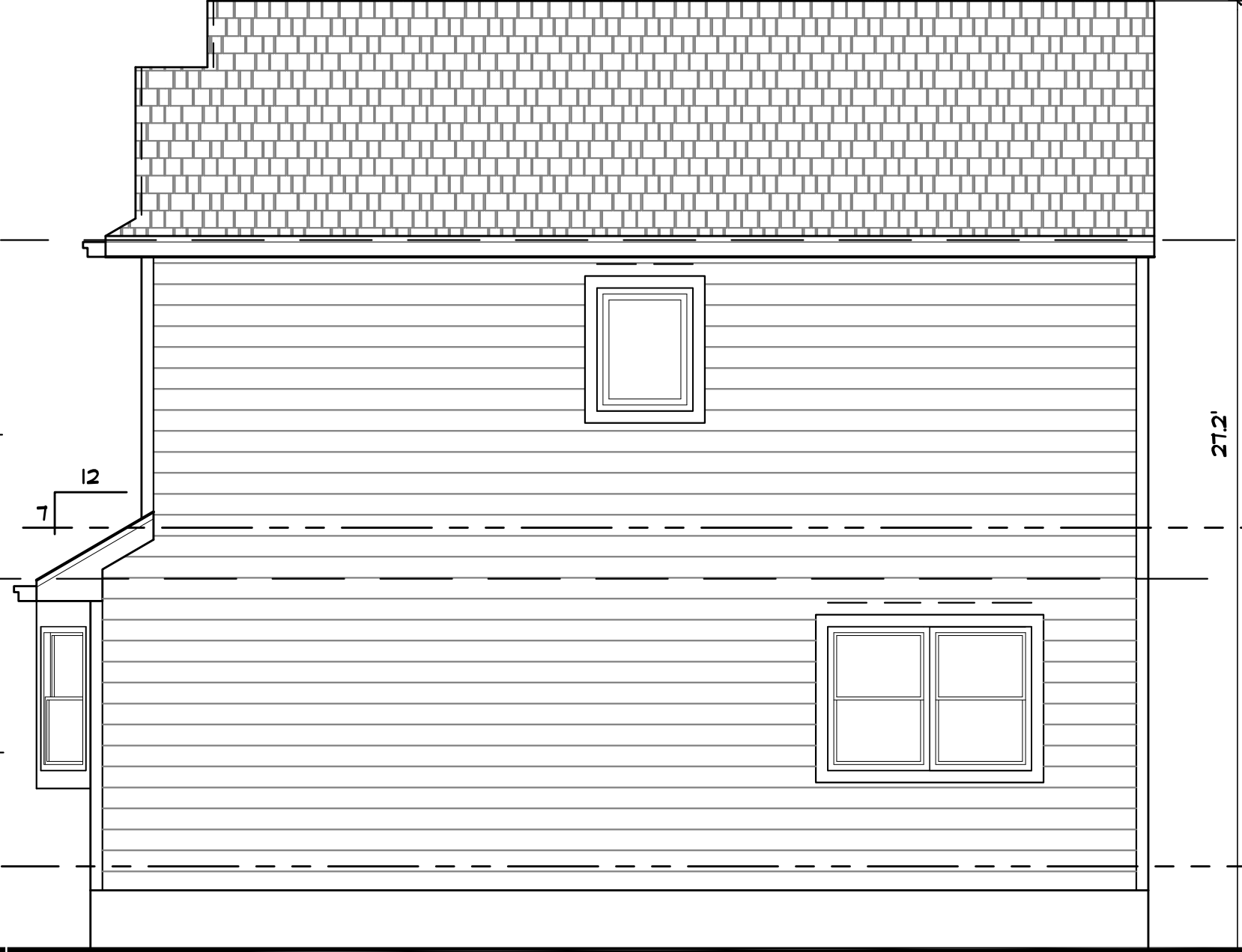
6 WALL/ FLOOR DETAIL
3/4" = 1'-0"



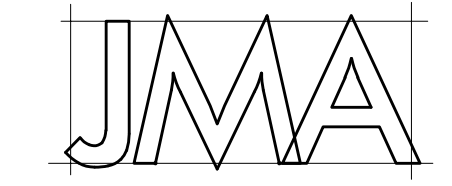
4 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



JMA Architects, LLC

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PROPOSED ADDITIONS & ALTERATIONS

Mills Residence

220 Pascack Avenue
Emerson, New Jersey

BOROUGH OF EMERSON
Tax Map Block 104, Lot 8

1	PERMIT/ CONSTRUCTION	4/10/26
NO	ISSUE/REVISION	DATE

DRAWING TITLE
EXTERIOR ELEVATIONS
DETAILS
NOTES

DATE
4/10/26
SCALE
AS NOTED
DRAWN
DH
CHECKED
JM
DRAWING NUMBER

A-2